

SPECIFICATION

FOOTINGS

"TYPE 1" FOOTINGS TO AS 1684.2
CONCRETE BACKFILL TO ENGINEER'S SPECIFICATIONS

MIN. SOLE PLATE FOUNDING DEPTHS:
IN ACCORDANCE WITH AS 2870

SITE CLASSIFICATIONMIN. DEPTH

P700mm

NOTE: SOLE PLATES MUST ALSO BE FOUNDED A MIN. OF 100mm INTO NATURAL SOIL WITH A MIN. BEARING CAPACITY OF 100 kPa. A DEEPER FOUNDING DEPTH MAY BE REQUIRED TO ACHIEVE THIS

STUMPS

S1: 100x100 PRECAST CONCRTE STUMPS WITH TWO 5mm HARD DRAWN WIRE STUMPS 800mm LONG

P1: 100x100 CYPRESS TIMBER POSTS/NEWEI POSTS WITH A MIN. STRESS GRADE OF F4

BEARERS

ROOF LOAD WIDTH- MAX. 4555mm
FLOOR LOAD WIDTH- 1725mm INTERNALLY
- 1825mm MAX. ON EXT. WALLS

2/140x45 LVL 15 (F17) BEARERS WITH A MAX. CONTINUOUS SPAN OF 2,900mm

MINIMUM BEARER CLEARANCE TO GROUND LEVEL:

TERMITE INSPECTION NOT REQUIRED:150mm

REQUIRED:400mm

NOTE: ON SLOPING SITES, 400mm WHEN REQUIRED MAY BE REDUCED TO 150mm WITHIN 2m OF EXTERNAL WALLS

FLOOR JOISTS

90x45 MGP10 FLOOR JOISTS AT MAX. 450 CENTRES WITH A: MAX. CONTINUOUS OF 1800mm
MAX. SINGLE SPAN OF 1500mm OR

90x45 F5 FLOOR JOISTS AT MAX. 450 CENTRES WITH A: MAX. CONTINUOUS OF 1600mm

FLOORING

19mm THICK "YELLOW TONGUE" PARTICLEBOARD FLOORING.

TIMBER DURABILITY

CLASS 1 OR 2 TIMBERS ARE SUITABLE FOR IN GROUND USE. ALTERNATIVELY, H5 TREATED TIMBER CAN BE USED

CLASS 1CLASS 2

BELIAN CYPRESS (WHITE) IRONBARK TALLOWWOOD TURPENTINE YELLOW CEDAR NORTHERN BOX

BLACKBUTT KWILA (MERBAU) SPOTTED GUM WESTERN RED CEDAR RIVER RED GUM BALAU TEAK

90x35 F5 AT 600 CTS. 45x90 F5 90x35 AT 1275 CTS.

90x35 F5 2/90x35 F5 3/90x35 F5

WALL FRAMES

COMMON STUDS: TOP/BOTTOM PLATES: NOGGINGS: JAMB STUDS: OPENING 0 - 900: OPENING 900 - 2600: OPENING 2600 - 4300:

90x35 F5 AT 600 CTS. 45x90 F5 90x35 AT 1275 CTS.

90x35 F5 2/90x35 F5 3/90x35 F5

LINTELS

OPENINGS UP TO 1100: 90 x 45 F5
OPENINGS UP TO 1500: 90 x 45 LVL 15
OPENINGS UP TO 1800: 140 x 45 F7
OPENINGS UP TO 2200: 140 x 45 LVL 15
OPENINGS UP TO 2400: 190 x 45 F7
OPENINGS UP TO 2600: 190 x 45 MGP10
OPENINGS UP TO 3000: 240 x 45 F7

*ALL STRUCTURAL TIMBER SIZES, FIXINGS & TIE-DOWNS ARE TO BE IN ACCORDANCE WITH AS 1684.2 2010

WATERPROOFING & WATER RESISTANCE

ALL WET AREA FLOORS:

- ENSURE VINYL FLOORING IS DEEMED TO BE WATERPROOF & THAT ALL JOINTS ARE SEALED

- UPTURN VINYL MIN. 25mm AT WALL/FLOOR JUNCTIONS TO CREATE WATERPROOF WATER STOP. SKIRTING BOARDS & ARCHITRAVES PLACED OVER UPTURN & SEALED TO VINYL WITH WATERPROOF ACRYLIC OR SILICONE SEALANT (REFER TO DETAIL)

- SKIRTING BOARDS & ARCHITRAVES TO WET AREAS TO BE SOLID TIMBER (IE. PINE OR HARDWOOD, NOT MDE)

SHOWER CUBICLE:

- 42x42x2mm ALLUMIN. WATERSTOP ANGLE OR VINYL FLOORING STRIP WITH MIN. HORIZONTAL DIMENSION OF 40mm EITHER SIDE, SEALED TO WALL AT ALL WALL JUNCTIONS (CORNERS) EXTENDING A MIN. OF 1800mm FROM SHOWER BASE

- THERMOSET LAMINATE WALL PANELS MIN. OF 1800mm HIGH FROM SHOWER BASE

ABOVE BASINS, TROUGHS & SINKS (KITCHEN BENCH)

- 150mm HIGH WALL TILES MIN. ABOVE VESSELS WITH WATERPROOF ACRYLIC OR SILICONE SEALANT TO JUNCTIONS

ELECTRICAL NOTES

- LIGHT SWITCHES TO BE AT 1000mm ABOVE FLOOR LEVEL

- HEIGHTS OF POWER POINTS MEASURED FROM FLOOR LEVEL UNLESS OTHERWISE NOTED.

- UNLESS DIMENSIONED POWER POINTS TO BE LOCATED TO THE NEAREST STUD.

- POWER POINTS FOR APPLIANCES & SPLIT SYSTEM AIR-CONDITIONING TO SUIT MANUFACTURERS REQ.

- PROVIDE PHONE CABLING WITH CONDUIT & DRAW STRING PLUS TV. ANTENNA CABLING THROUGH BARGE END.

ENERGY EFFICIENCY- LIGHTING

- ARTIFICIAL LIGHTING MUST NOT EXCEED: CLASS 1 BUILDINGS- 5 W/m²

- VERANDAH/PORCH- 4W/m²

- PERIMETER LIGHTING- MIN. 40 LUMENS/W IN ACCORDANCE WITH THE B.C.A PART 3.12

- INTERNAL LIGHTING MUST NOT EXCEED: 420 WATTS TOTAL

- PERIMETER LIGHTING COMPLIANT WITH: 8 WATT CFL GLOBE= 50 LUMENS/W
11 WATT CFL GLOBE= 73 LUMENS/W

ELECTRICAL LEGEND

○ - CEILING LIGHT OUTLET (240v) ▼ - PHONE POINT AT 200/1000

● - LED DOWNLIGHT ● - SMOKE DETECTOR (DIRECT WIRED)

⊗ - EXHAUST FAN (SELF SEALING) ○ - SMOKE DETECTOR (DIRECT WIRED)

S/B - INTERNAL SWITCH BOARD ⚡ - TV. POINT AT 200

SPPDPHEIGHTSPPDPHEIGHT

200 F.F.L.1200 F.F.L.

350 F.F.L.1275 F.F.L.

750 F.F.L.1350 F.F.L.

970 F.F.L.1400 F.F.L.

1000 F.F.L.2000 F.F.L.

1000 F.F.L.1000 F.F.L.

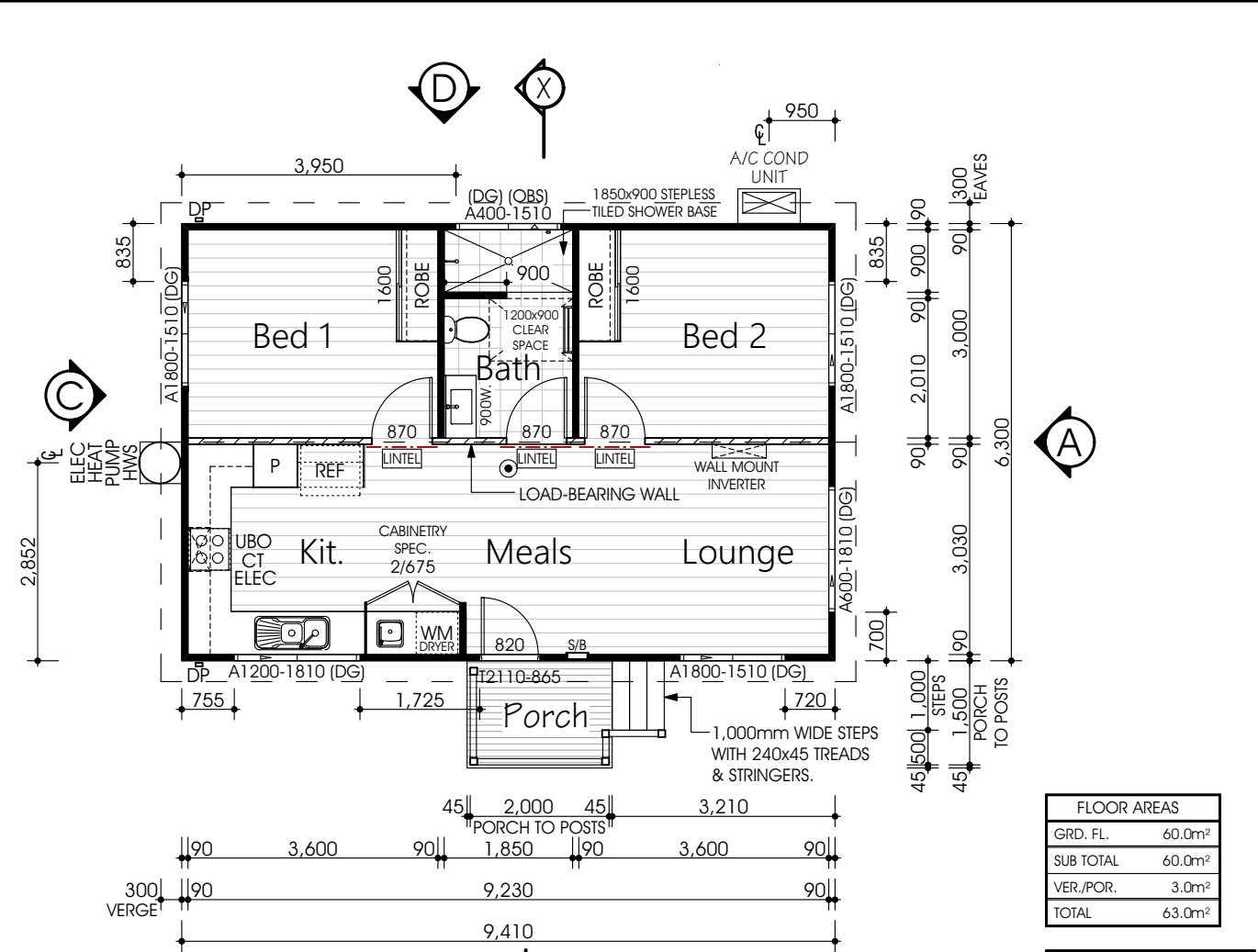
IN ROOF

THE PLACEMENT OF A CHEMICAL BARRIER OR SHEET METAL "ANT CAPS" TO THE TOPS OF TIMBER STUMPS IN ACCORDANCE WITH PART 3.1.3 OF THE BCA & AS 3660.1 IS SUFFICIENT WHEN PROTECTION AGAINST TERMITE ATTACK IS REQUIRED

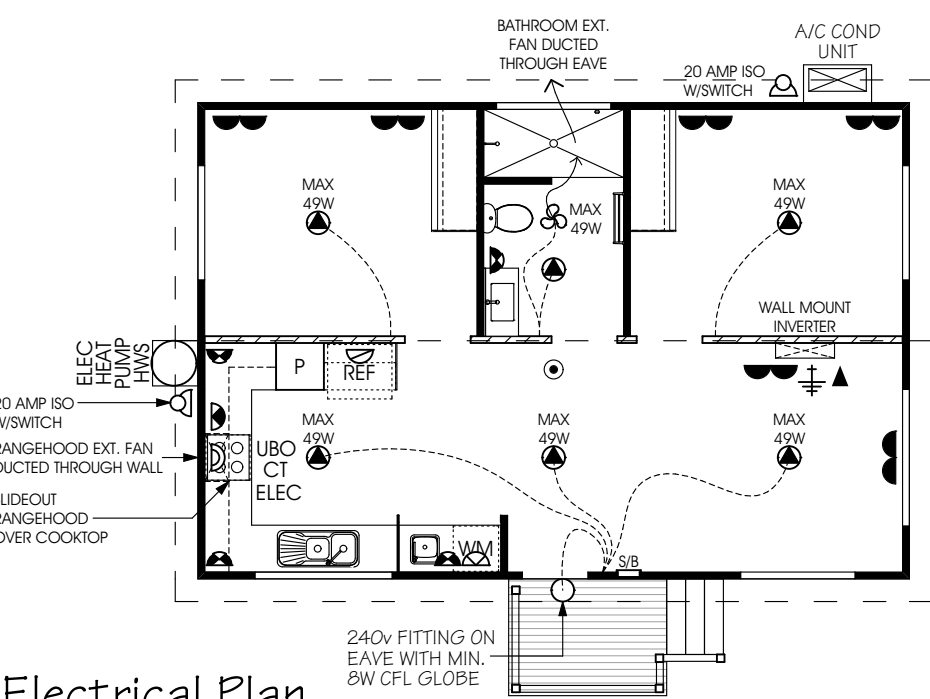
NOTE: A MIN. OF 400mm CLEARANCE IS REQUIRED TO THE UNDERSIDE OF BEARERS ON SITES REQUIRING TERMITE INSPECTION. THIS CAN BE REDUCED TO 150mm ON SLOPING SITES WITHIN 2m OF EXTERNAL WALLS.

BUSHFIRE AREAS

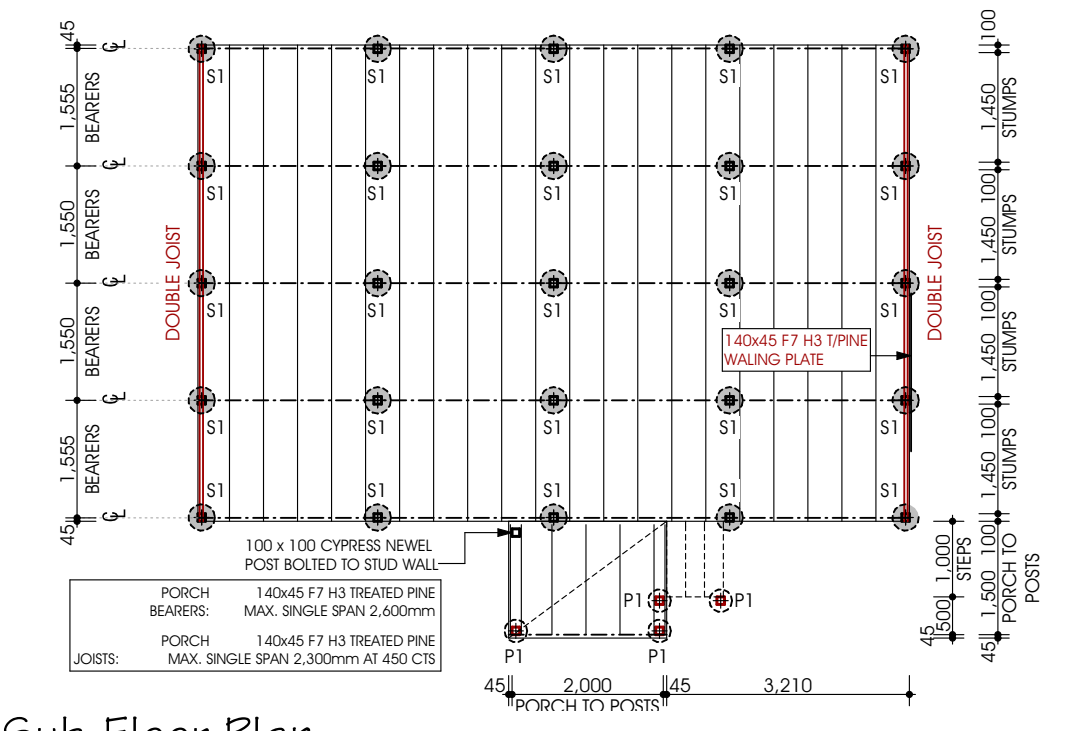
DESIGN & SPECIFICATION DOES NOT CONSIDER SITES SUBJECT TO BUSHFIRE ATTACK. SITES DEEMED TO HAVE A BAL OF 12.5 OR MORE HAVE ADDITIONAL CONSTRUCTION REQUIREMENTS IN ACCORDANCE WITH PART 3.7.4 OF THE BCA & AS 3699



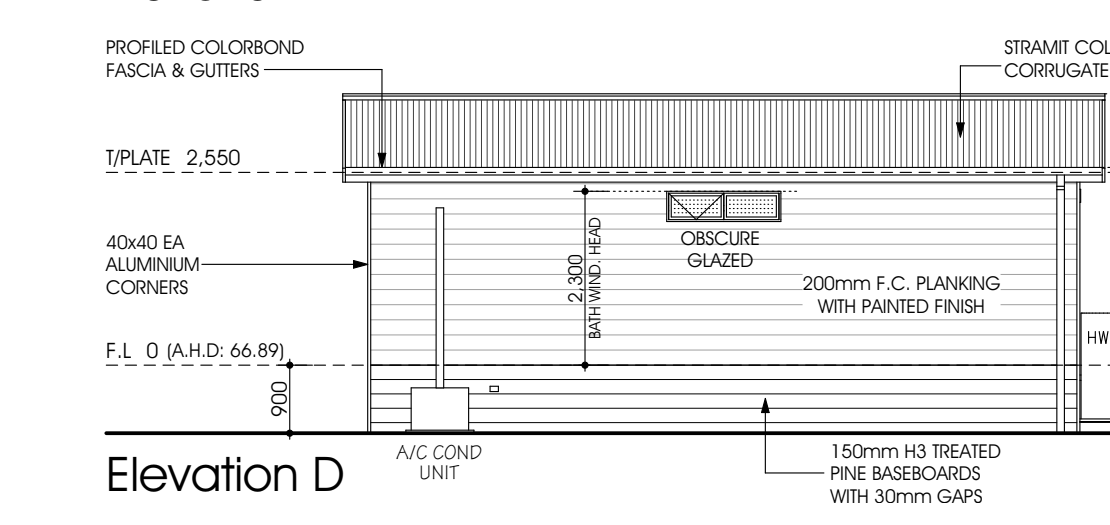
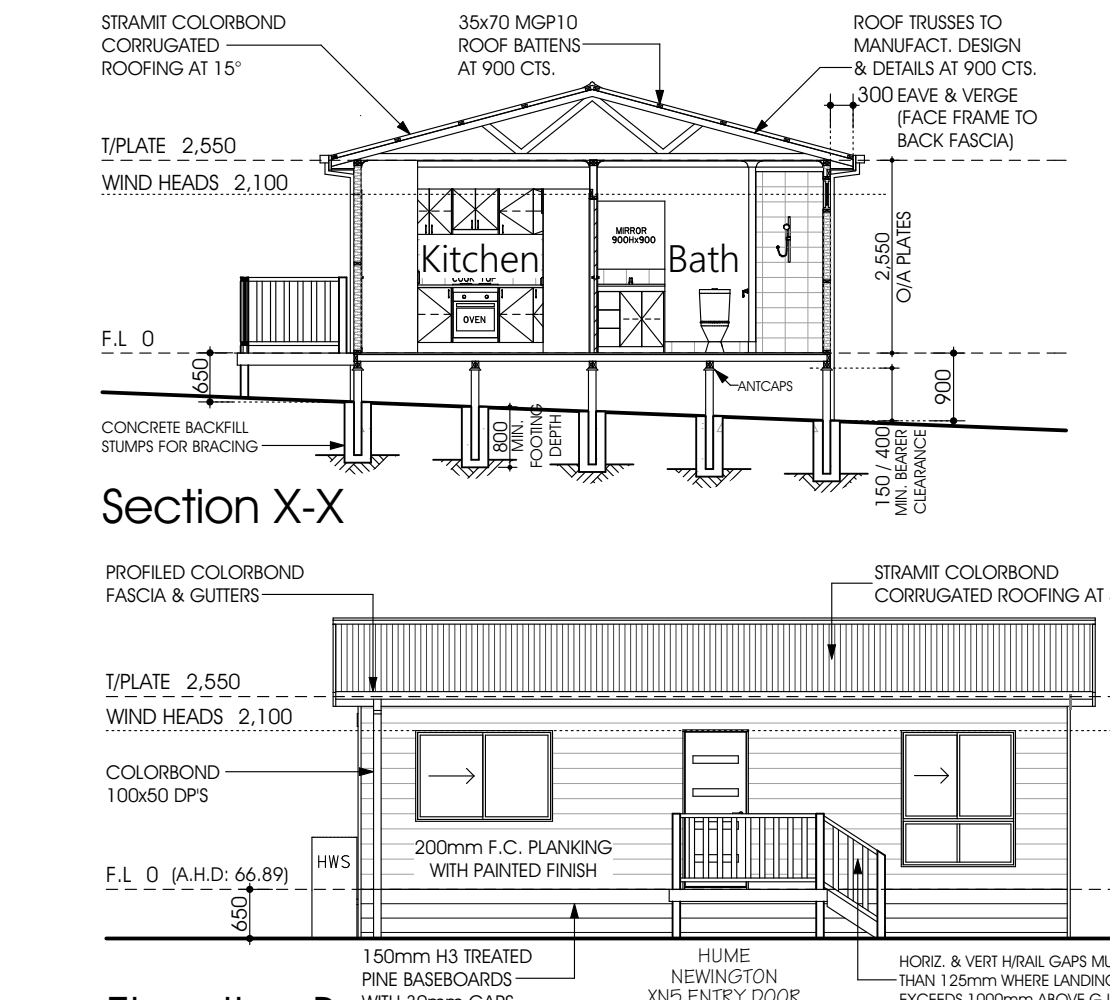
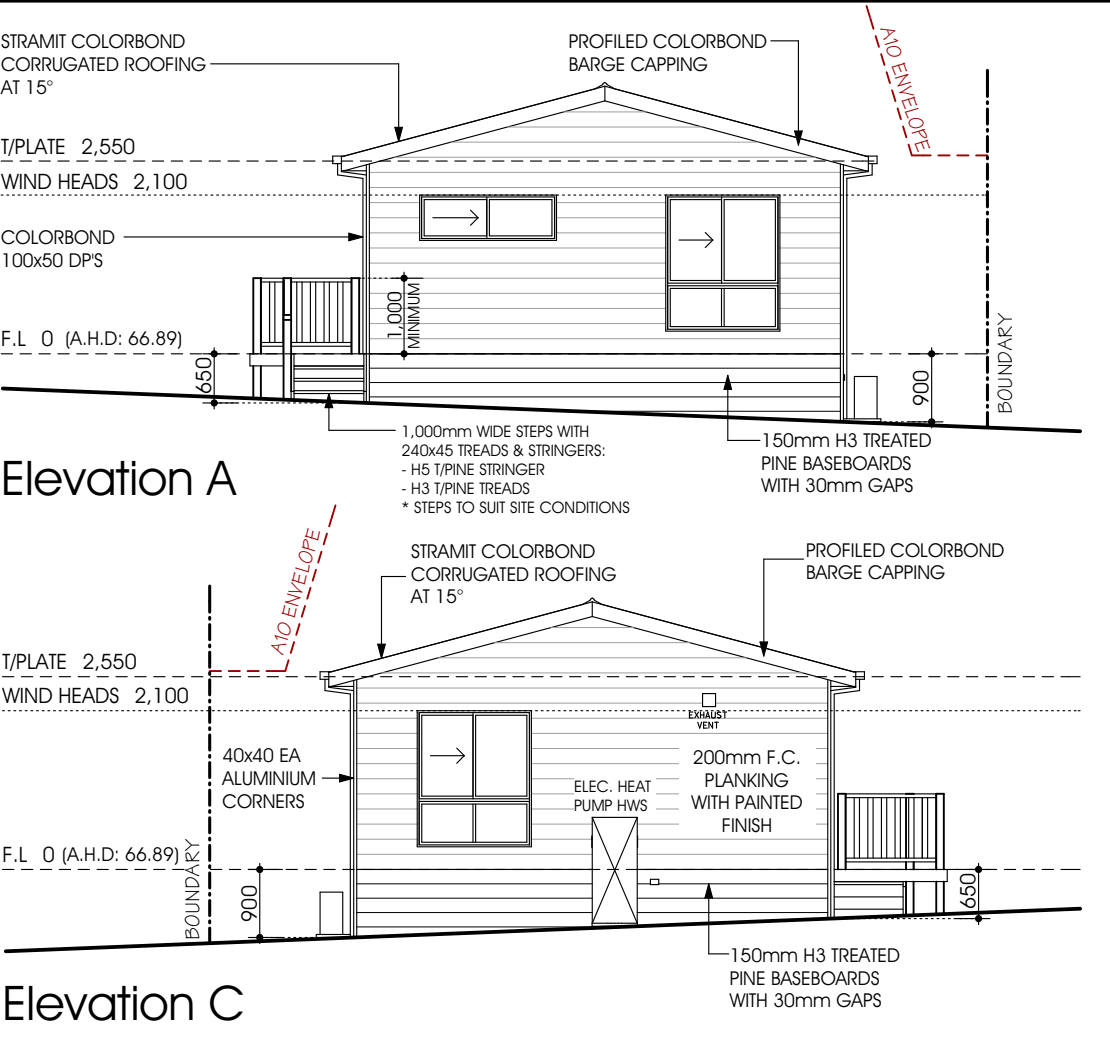
Floor Plan
Scale 1:100 @ A2



Electrical Plan
Scale 1:100 @ A2



Sub-Floor Plan
Scale 1:100 @ A2



I/W/E

ACKNOWLEDGE THAT THESE PLANS ARE A TRUE AND ACCURATE REFLECTION OF OUR REQUIREMENTS AND AGREE THAT THESE PLANS ARE THE PLANS REFERRED TO IN THE MAJOR DOMESTIC BUILDING CONTRACT BETWEEN "BETNALE PTY LTD" (TRADING AS SUPERIOR GRANNY FLATS) AND MYSELF/OURSELVES AND AUTHORISE THEIR USE FOR NEXT STAGE PURPOSES. I/W/E AM/ARE FULLY AWARE, IF ANY FURTHER CHANGES ARE TO BE MADE ON THESE PLANS WILL INCUR A VARIATION FEE.

SIGNED: DATE:

SIGNED: DATE:

ENERGY EFFICIENCY

CLASS 1 BUILDINGS IN CLIMATE ZONE 6 ARE REQUIRED TO ACHIEVE A MIN. 6 STAR ENERGY RATING IN ACCORDANCE WITH PART 3.12 OF THE BCA. THIS IS ACHIEVED USING THE (DEEMED TO SATISFY PROVISIONS) OF PART 3.12 OF THE BCA. REFER TO ATTACHED REPORT FOR EXPLANATORY INFORMATION & OVERALL R-VALUES OF ROOF, WALL & FLOOR SYSTEMS

INSULATION VALUES

- ROOF: R- 5.0 BATTS (210mm) + REFLECTIVE FOIL INSULATION*

- WALLS: R- 2.5 WALL BATTS (90mm)

- FLOOR: R- 2.9 REFLECTIVE FOIL INSULATION (4mm)

* NOTE: REFLECTIVE FOIL INSULATION ASSUMES A SINGLE FOIL SIDED TYPE & POLY WEAVE BACKED WITH AN AVERAGE EMITTANCE VALUE OF 0.9 OUTER & 0.05 INNER. THE REFLECTIVE SIDE MUST FACE DOWNWARD (ROOF) OR INWARD (WALLS) AND BE PLACED DIRECTLY UNDER THE ROOF & WALL CLADDING TO BE EFFECTIVE

EXTERNAL GLAZING

- EXTERNAL GLAZING IS SUBJECT TO BUILDING ORIENTATION. REFER TO ATTACHED GLAZING CALCULATION FOR SPECIFIC BUILDING ORIENTATION

BUILDING SEALING

- A SEAL TO RESTRICT AIR INFILTRATION MUST BE FITTED TO EACH EDGE OF AN EXTERNAL SLIDING DOOR, WINDOWS AND OPENINGS.

- DRAFT PROTECTORS ARE REQUIRED TO BE FITTED TO THE BOTTOM EDGE OF EXTERNAL SWING DOORS AND SEALS TO THE HEAD AND SIDES.

- SEALS MAY BE FOAM, RUBBER, FIBROUS OR THE LIKE.

- EXHAUST FANS MUST BE FITTED WITH A SELF SEALING DEVICE SUCH AS A SELF-CLOSING DAMPER OR FILTER (RANGEHOOD)

- GAPS AND CRACKS AROUND ROOFS, EXTERNAL FLOORS, WALL/FLOOR/ROOF JUNCTIONS AND AROUND WINDOW AND DOOR FRAMES MUST BE MINIMISED THROUGH GOOD CONSTRUCTION PRACTICE. AND WITH THE PLACING OF CLOSE FITTING INTERNAL LINING AT JUNCTIONS, CAULKING, SKIRTING, ARCHITRAVES AND CORNICES.

SERVICES

- SERVICES PIPING AND DUCTWORK MUST COMPLY WITH THE MIN. INSULATION REQUIREMENTS OF PART 3.12.5 OF THE BCA.

GENERAL NOTES

- ENERGY EFFICIENCY (WALL, FLOOR, ROOF INSULATION & GLAZING) IN ACCORDANCE WITH PART 3.12 OF THE BCA. REFER TO ENERGY EFFICIENCY NOTES & GLAZING CALCULATIONS FOR DETAILS.

- WET AREAS IN ACCORDANCE WITH PART 3.8.1 OF THE BCA FOR WATERPROOFING & WATER RESISTANCE.

- STEPS: TREAD- 250mm MIN, RISER- 190mm MAX.

- BALUSTRADE : - AT STEPS- 865mm (MIN) HIGH
 - AT LANDING- 1000mm (MIN) HIGH

- WHERE REQUIRED, HORIZONTAL & VERT. GAPS IN BALUSTRADES MUST BE LESS THAN 125mm IN ACCORDANCE WITH BCA PART 3.9.2

- WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALE.

- UNLESS OTHERWISE INDICATED ALL WALL DIMENSIONS ARE:
- EXTERNAL 90mm STUD
- INTERNAL 90mm STUD

- WC / BATHROOM DOOR TO BE REMOVABLE WHERE REQUIRED AND FITTED WITH LIFT OFF HINGES IN ACCORDANCE WITH BCA PART 3.8.3.5

- ALL GLAZING TO COMPLY WITH PART 3.6 OF THE BCA & AS 1288

- MECHANICAL VENTILATION TO OUTSIDE AIR PROVIDED WHERE REQUIRED AND IN ACCORDANCE WITH B.C.A. P.2.4.5 / 3.8.5

- ROOF TRUSSES (WHERE USED) TO HAVE A MAXIMUM SPACING OF 900mm

- WINDOW GLAZING CODES:
- (OBS) OBSCURE GLASS
- (TL5) TRANSLUCENT GLASS
- (DG) DOUBLE GLAZED

○ - ROOF ACCESS (WHERE APPLICABLE)
● - SMOKE DETECTOR (DIRECT WIRED)
□ DP - DOWNPIPE (STORMWATER CONNECTED)
■ DP - DOWNPIPE (WATER TANK CONNECTED)

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Registered Building Practitioner: DP-AD 36967

Proposed Small Second Dwelling

At: Lot 372, No. 69 Highfield Ave,
Mulgrave VIC 3153

For: Betnale Pty. Ltd.

9.41m x 6.3m
2 Bedroom

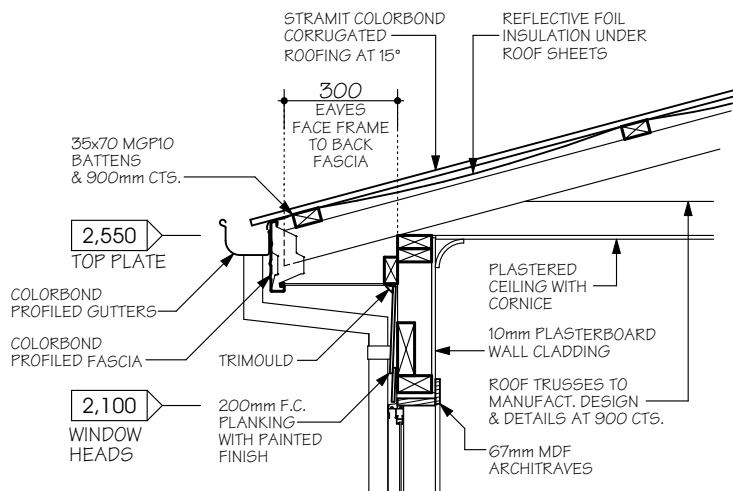
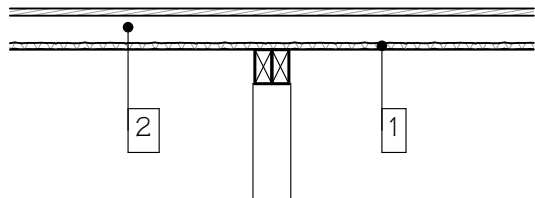
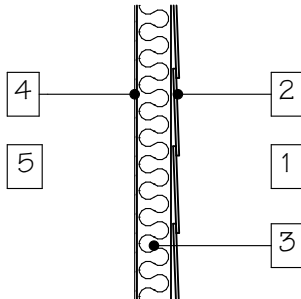
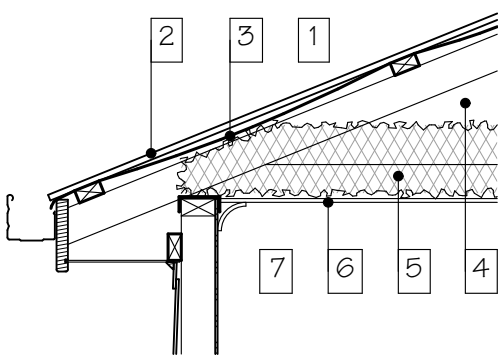
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Rev: 4

Building Fabric R-Values

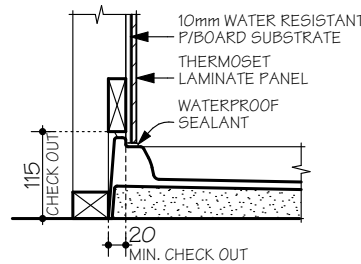
Roof Construction		
- Climate Zone G: Upward Heat Flow		
- Unventilated Roof Space		
- 0.90 Solar Absorptance (Dark Grey)		
- Min R-Value to be achieved R- 5.1		
1.	Outdoor Air Film (7 m/s)	R- 0.04
2.	Metal Roof Cladding	R- 0.00
3.	Poly Backed Ref. Foil Ins. (Ref. side down)	R- 0.00
4.	Reflective Roof Airspace (as per B.C.A 3.12.1.2)	R- 0.55
5.	Ceiling Insulation Batts (210mm)	R- 5.00
6.	Plasterboard Ceiling	R- 0.06
7.	Inside Air Film (Still Air)	R- 0.11
Total		R- 5.8

Wall Construction		
- Climate Zone G		
- Min R-Value to be achieved R- 2.8		
1.	Outdoor Air Film (7 m/s)	R- 0.04
2.	F.C. Plank Cladding	R- 0.09
3.	Wall Insulation Batts (90mm)	R- 2.50
4.	Plasterboard (10mm)	R- 0.06
5.	Inside Air Film (Still Air)	R- 0.12
Total		R- 2.8

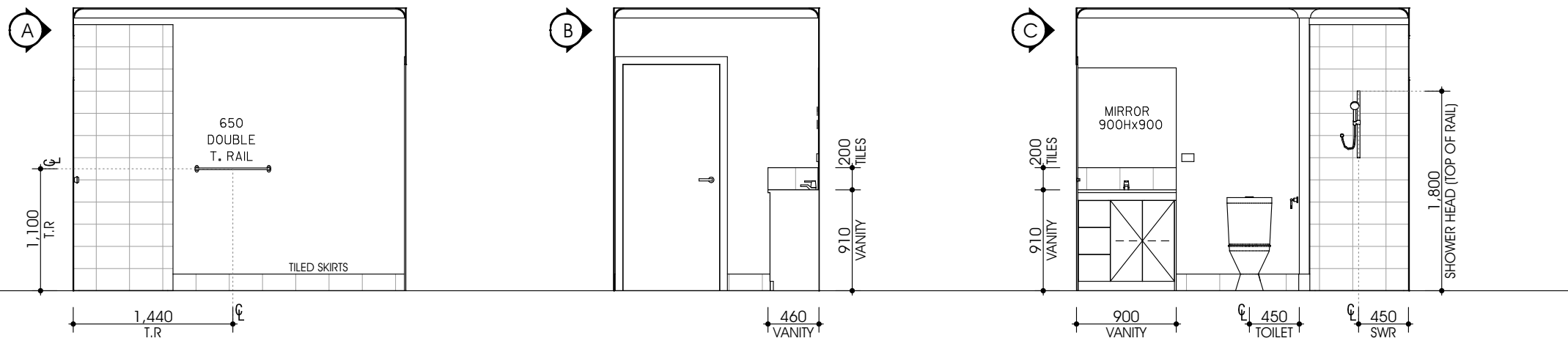
Floor Construction		
- Climate Zone G: Downward Heat Flow		
- Enclosed Sub-Floor		
- Min R-Value to be achieved R- 2.25		
1.	"Sancell Breeze" Reflective Foil Insuation (4mm)	R- 0.10
2.	Sealed Reflective Airspace (90mm) (As per Sancell Products Specs.)	R- 2.80
Total		R- 2.9



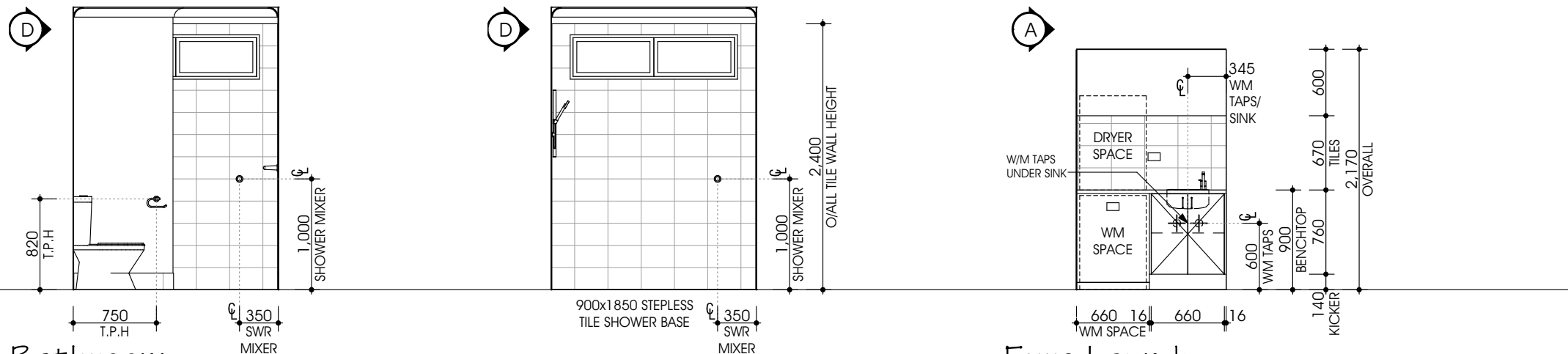
Typical Eave
Wall-Roof Junction
Scale 1:20 @ A2



Shower Detail
Check into Wall
Scale 1:5 @ A2

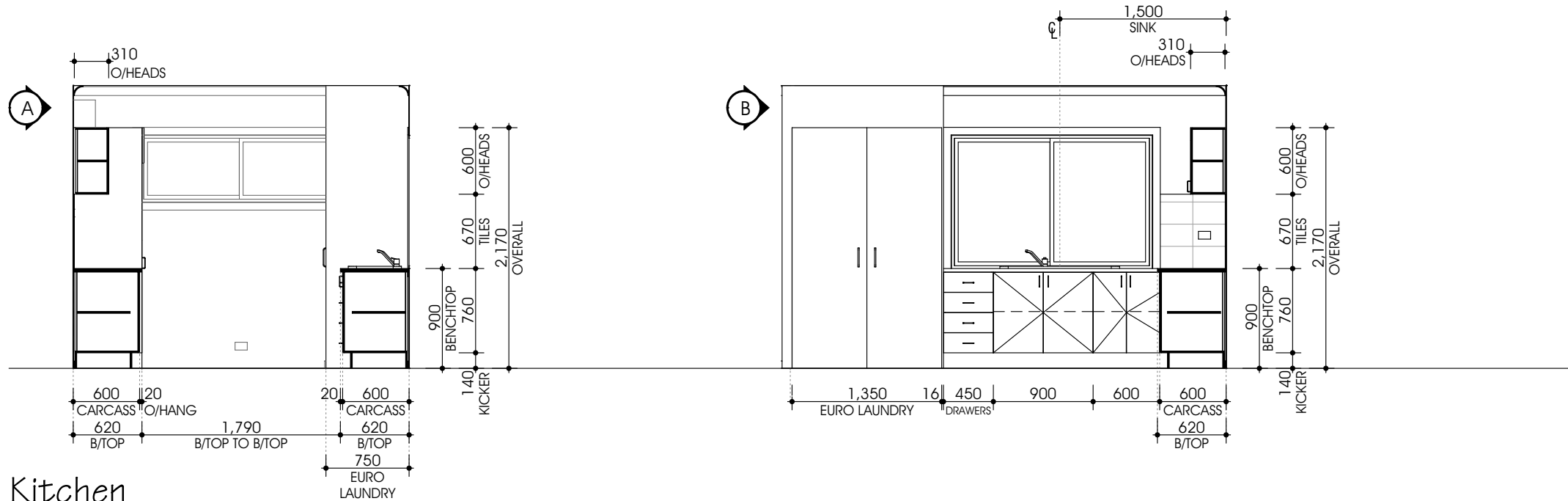


Internal Elevations- Bathroom Scale 1:50

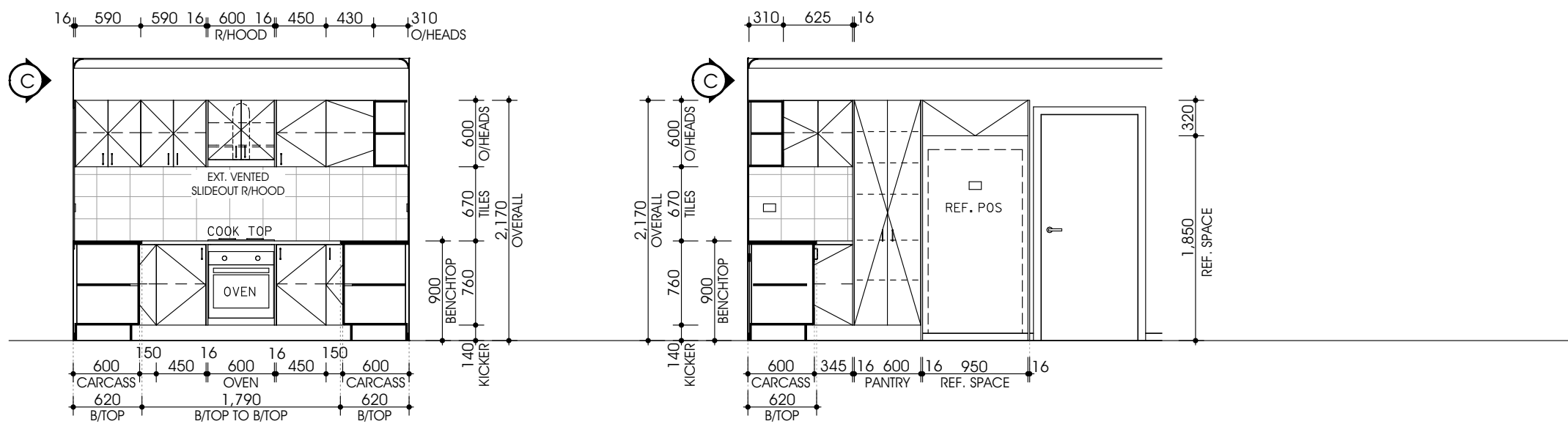


Bathroom

Euro Laundry

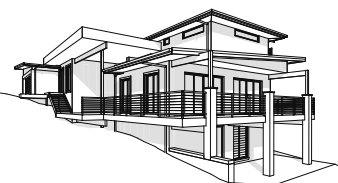


Kitchen



Kitchen

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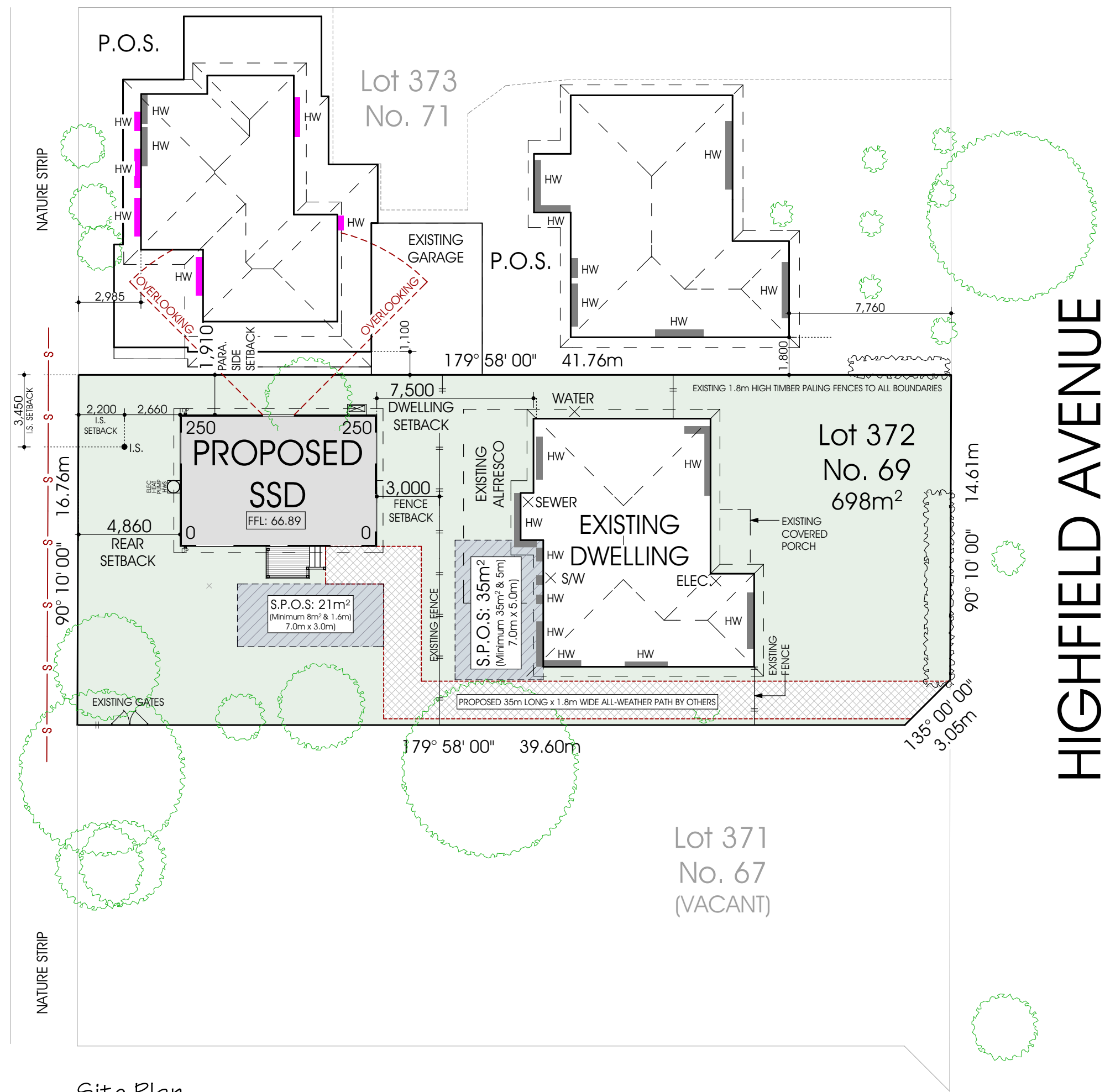


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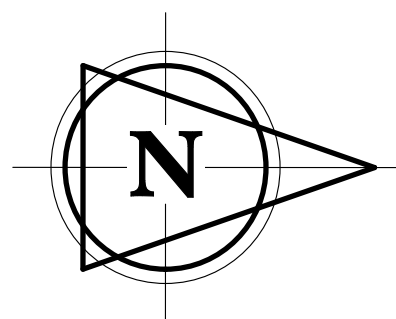
Proposed Small Second Dwelling
At: Lot 372, No. 69 Highfield Ave,
Mulgrave VIC 3153
For: Betnale Pty. Ltd.

9.41m x 6.3m
2 Bedroom

Sheet No: 2
Issue: 26-04-24
Rev: 4



Site Plan
Scale 1:200 @ A2



SITE COVERAGE DETAILS	
OVERALL SITE AREA:	698 m ²
EXISTING DWELLING:	108 m ²
EXISTING OUTBUILDINGS:	32 m ²
PROPOSED SSD:	60 m ²
PROPOSED SSD PORCH:	3 m ²
OVERALL SITE COVERAGE:	203 m ² (29%)
TOTAL PERMEABLE AREA:	495 m ² (71%)
TOTAL GARDEN AREA:	456 m ² (65%)
TOTAL P.O.S:	280 m ² (40%)
TOTAL S.P.O.S	54 m ² (7%)

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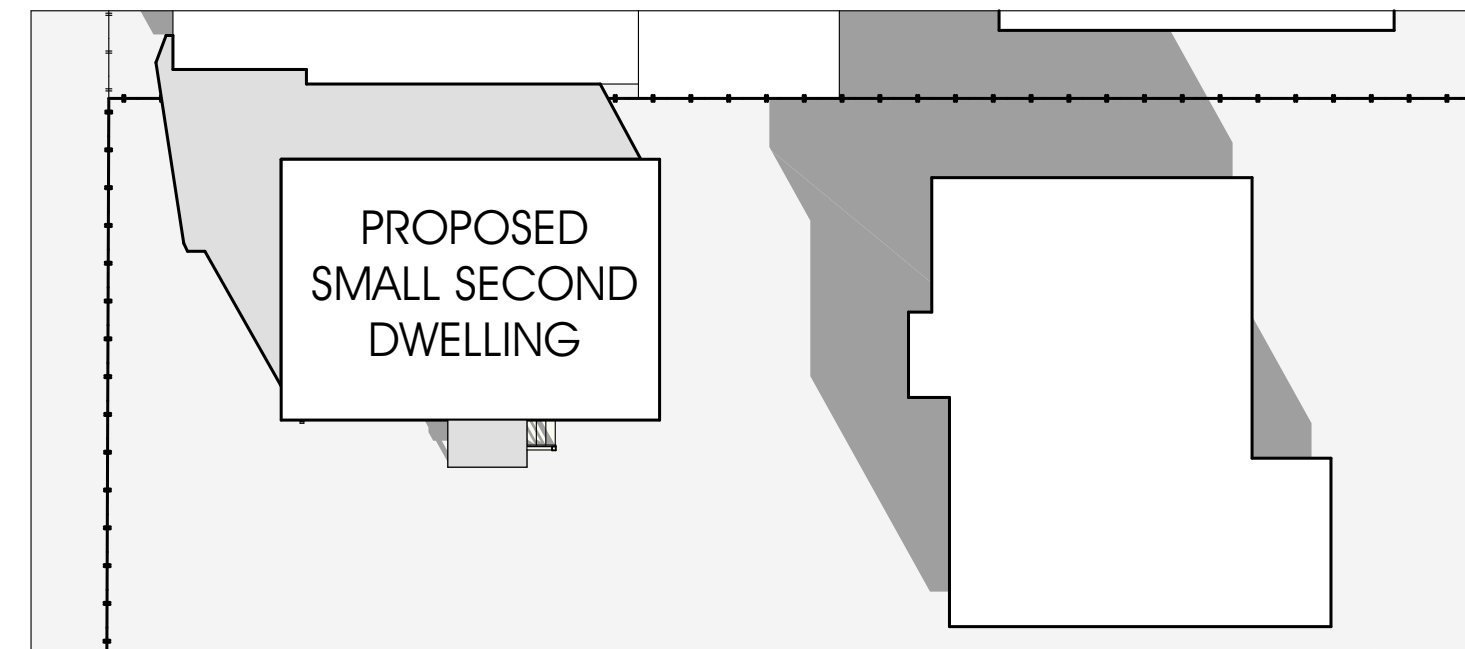


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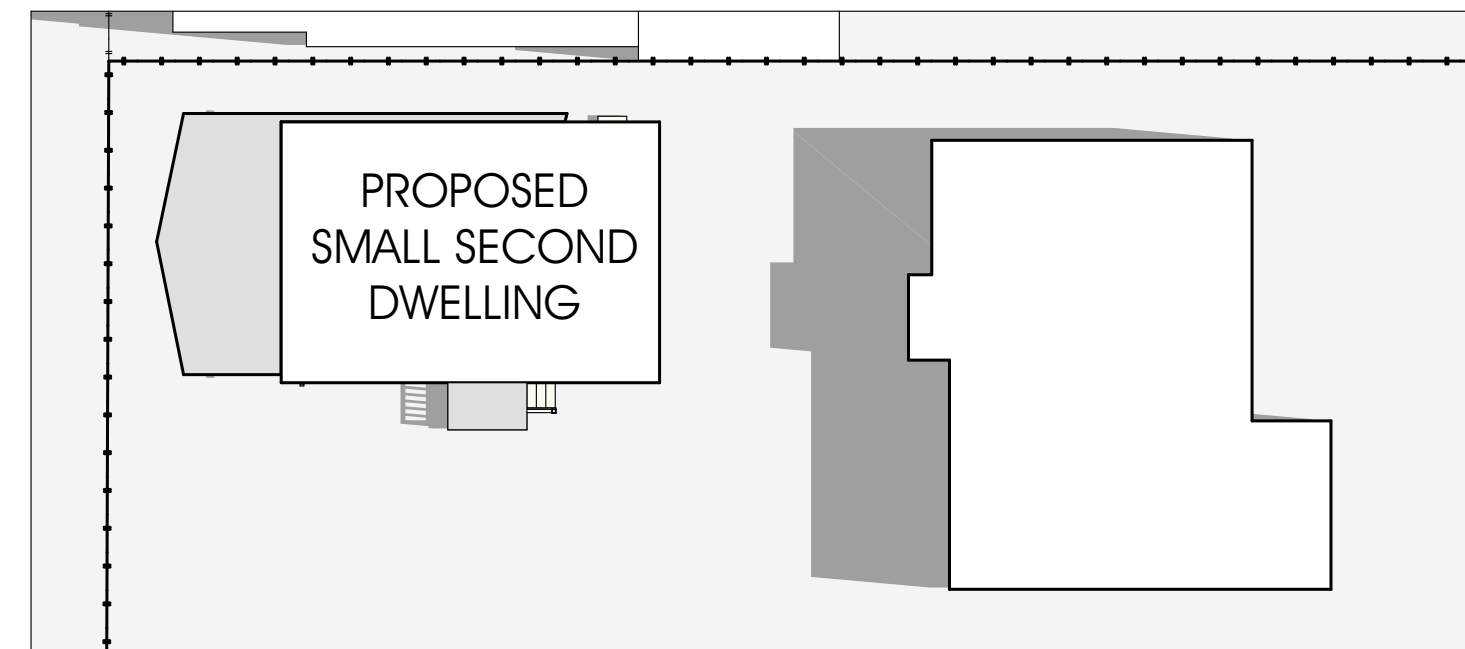
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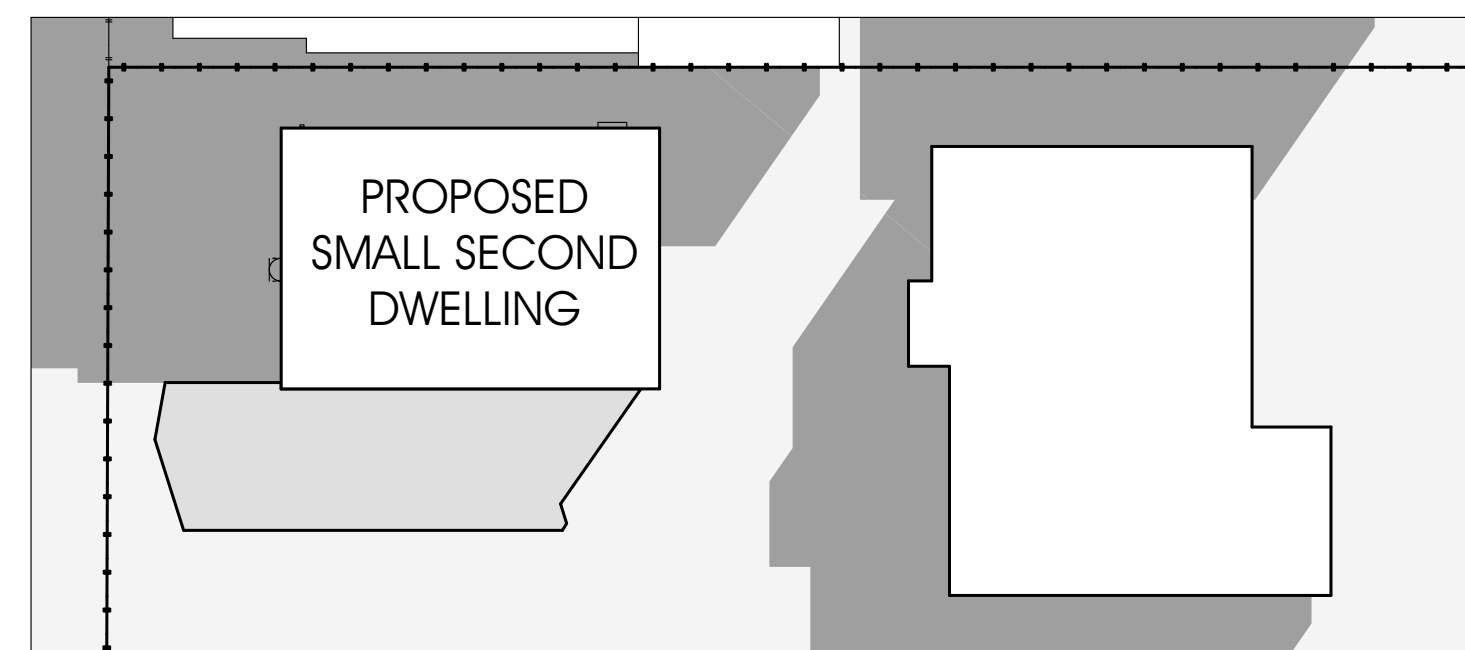
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22nd September - 9am



22nd September - 9am



22nd September - 9am

Shadow Diagrams
Scale 1:200 @ A2

Existing Shadow
Proposed Shadow

RECORD OF HAVING RE-ESTABLISHED A CADASTRAL BOUNDARY

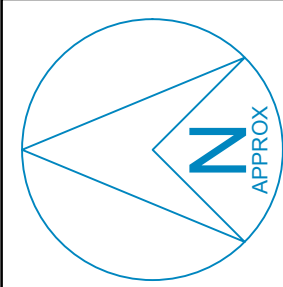
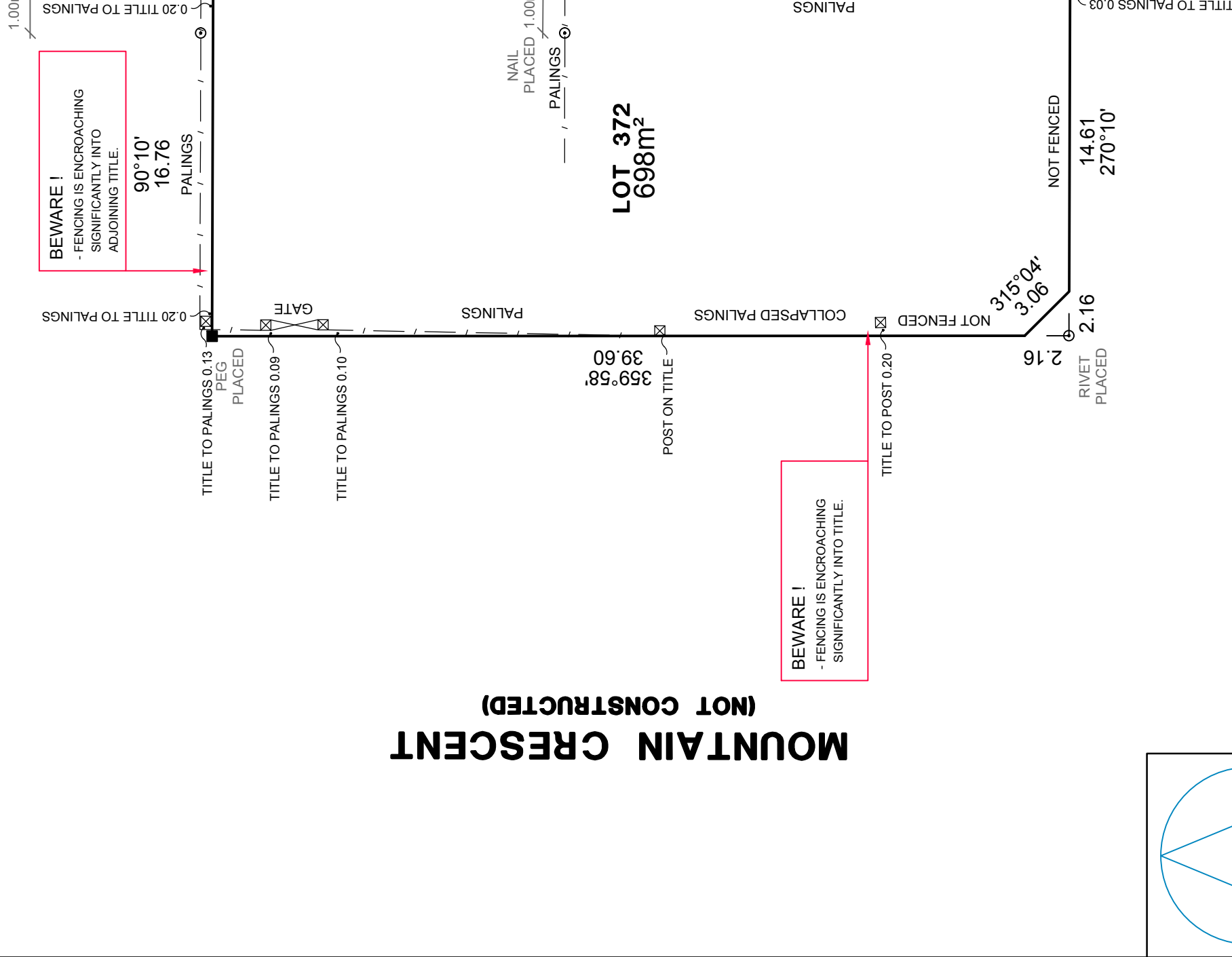
**SURVEYING (CADASTRAL SURVEYS) REGULATIONS 2015 -
- SCHEDULE 4, REGULATION 16**

LOCATION OF LAND

Property Address: 69 HIGHFIELD AVENUE
MULGRAVE, 3170

Lot Description: LOT 372 ON LP 12519

Title Description: VOL. 8165 FOL. 509



IMPORTANT NOTE:

- PLEASE NOTE FOR ANY FENCING OR BUILDINGS ENCRoACHING ONTO THE SUBJECT SITE, THE ADJOINING LAND OWNER(S) MAY HAVE RIGHTS OF POSSESSION. AS THIS LAND MAY NOT BE RECOVERABLE IT IS RECOMMENDED THAT NO DESIGN BE MADE BEYOND THIS POINT UNTIL A RESOLUTION IS REACHED WITH THE ADJOINING OWNER.

HIGHFIELD AVENUE

Connections to Reference material

ORIGINAL SHEET SIZE: A3		CERTIFICATION BY SURVEYOR		SHEET 1 of 1
SCALE 1:250		<p>I, Anthony Peter Ralph, of 9/303 Maroondah Hwy Ringwood certify that this plan has been prepared from a survey made under my direction and supervision in accordance with the Surveying Act 2004 and completed on 05/04/24, that this plan is accurate and correctly represents the adopted boundaries and that survey accuracy accords with that required for by regulation 7 (1) of the Surveying (Cadastral Surveys) Regulations 2015.</p>		
REF. 3219911G1D	VERSION 01	<p>Licensed Surveyor, Surveying Act 2004.</p>		
<p>JCA LAND CONSULTANTS The Subdivision Specialists Suite 9, 303 Maroondah Highway, Ringwood VIC 3134 T: 03 9735 4888 E: pa@jcalc.com.au www.jcalc.com.au</p>				